

# DANA POINT HARBOR BUILDINGS 6-12 WET UTILITY PLANS

34571 GOLDEN LANTERN STREET  
DANA POINT, CA 92629

PREPARED FOR:  
DANA POINT HARBOR PARTNERS, LLC  
1100 NEWPORT CENTER DR. STE 200  
NEWPORT BEACH, CA 92660



Building&Safety: ocpwAzarvandB 8/31/2023

Permits: PLB23-0186

## GENERAL NOTES

- THIS NOTE HEREIN INCORPORATES, BY REFERENCE, THE GENERAL NOTES OF OC PUBLIC WORKS STANDARD PLAN 1801, THE LATEST EDITION (2018).
- ALL WORK SHALL BE IN CONFORMANCE WITH CURRENT OC PUBLIC WORKS STD. PLANS AND STD. SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK OR APPROVED DEVATION FOR STANDARD).
- THE DEVELOPER/CONTRACTOR SHALL HAVE A COPY OF THE CURRENT OC PUBLIC WORKS STANDARD PLANS ON THE CONSTRUCTION SITE AT ALL TIMES.
- THE DEVELOPER SHALL TELEPHONE OC PUBLIC WORKS CONSTRUCTION AT (714) 245-4550 AT LEAST 24 HOURS PRIOR TO STARTING CONSTRUCTION WORK SUBJECT TO OC PUBLIC WORKS INSPECTION.
- COUNTY APPROVED PLANS DO NOT RELIEVE THE CONTRACTOR/DEVELOPER FROM RESPONSIBILITY TO OBTAIN PUBLIC PROPERTY PERMITS, WHICH SHALL BE AVAILABLE ON THE JOB AT ALL TIMES WORK IS BEING ACCOMPLISHED IN THE PUBLIC RIGHT-OF-WAY.
- ALL CONCRETE CURB AND GUTTER FLOW LINES WITH LESS THAN 1% GRADE SHALL BE WATER TESTED PRIOR TO FINAL FINISHING TO INSURE PROPER DRAINAGE WITHOUT UNACCEPTABLE HIGH OR LOW SPOTS.
- ALL UTILITY TRENCH BACKFILL AND COMPACTION INSPECTION OUTSIDE THE LIMITS OF DEDICATED STREET RIGHT-OF-WAY SHALL BE PERFORMED BY OC PUBLIC WORKS.
- ALL DAMAGED CONCRETE SIDEWALKS OR CURBS SHALL BE SAWCUT TO THE NEAREST TRANSVERSE SCORE MARK OR ADJUSTABLE CONTROL JOINT OR WEAKENED PLANE JOINT AND REPLACED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF OC PUBLIC WORKS STANDARD PLANS.
- DEVELOPER SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITIONS AT ALL TIMES AND TO THE SATISFACTION OF THE COUNTY'S INSPECTOR. THE ADJACENT STREETS SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY HIS CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE COUNTY RIGHT-OF-WAY WITHOUT PERMISSION OF THE COUNTY'S INSPECTOR.
- PRIOR TO FINAL ACCEPTANCE OF STREET IMPROVEMENTS, ALL STREET PAVEMENT STRIPING AND STENCILING WITHIN THE PERIMETER OF THE CONSTRUCTION PROJECT WILL BE RESTORED TO A "LIKE NEW" CONDITION, IN A MANNER MEETING THE APPROVAL OF THE DIRECTOR, OC PUBLIC WORKS. ALL STRIPING AND STENCILING SHALL BE ACCORDING TO STANDARD PLAN NO.1801, NOTE 18.
- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE PROTECTED WITH ADEQUATE BARRICADES, LIGHTS, SIGNS AND WARNING DEVICES AS PER THE CURRENT STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, MANUAL OF TRAFFIC CONTROLS, AND TO THE DIRECTIONS OF THE COUNTY'S INSPECTOR.
- OC PUBLIC WORKS STANDARD PLANS SHALL TAKE PRECEDENCE OVER ANY CONFLICTS EXCEPT FOR STANDARD PLANS AFFECTING UTILITY COMPANIES, IF THEIR STANDARDS ARE MORE STRINGENT.
- ANY UTILITIES UNDER PAVED AREAS OF PRIVATE STREETS SHALL HAVE A MINIMUM OF 30" COVER AND DEVELOPER SHALL PROVIDE PRIVATE LABORATORY COMPACTION CERTIFICATION FOR ALL UNDERGROUND UTILITIES PRIOR TO PAVING. THE DEVELOPER SHALL SET UP A MEETING WITH THE INSPECTOR AND THE PRIVATE LABORATORY PRIOR TO ANY TESTING.
- A.C. PAVEMENT UNDER CARPORTS/ROOFS SHALL BE SLURRY SEALED IN ACCORDANCE WITH SECTION 302-4 "EMULSION - AGGREGATE SLURRY" OR THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, 2009 EDITION, BEFORE FINAL ACCEPTANCE.
- ALL TRAFFIC MARKING AND STRIPING SHALL BE STENCILS THAT CONFORM TO THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (D.O.T.) NON-METRIC STANDARD.
- NO CONCENTRATED FLOWS ACROSS ASPHALT PAVEMENT WITHOUT COUNTY'S INSPECTOR'S APPROVAL.
- SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION, AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.
- PRIOR TO ORDERING ANY CONCRETE OR CONCRETE PRODUCTS FOR USE ON THIS PROJECT, SOIL SULFATE TESTS SHALL BE PERFORMED MEETING THE APPROVAL OF THE OC PUBLIC WORKS MATERIALS LABORATORY.
- CONCRETE ITEMS SHALL MEET THE REQUIREMENTS OF THE INTENT OF SECTION 201.1.1.3. "CONCRETE SPECIFIED BY SPECIAL EXPOSURE" OF THE GREEN BOOK, UNLESS OTHERWISE APPROVED BY THE OC PUBLIC WORKS MATERIALS LABORATORY.
- ALL STREET SECTIONS TO BE DETERMINED BY OC PUBLIC WORKS MATERIAL ENGINEER. ALL REPORTS FOR SAMPLING OF STREETS SHALL BE MADE TO COUNTY INSPECTION AND ONLY AFTER GRADE RELEASE AND PRIOR TO ANY UTILITY REPLACEMENT WITHIN STREET TEMPLATE.
- ALL WET AND DRY UTILITIES ARE NOT TO BE INSTALLED PRIOR TO CURB AND GUTTER CONSTRUCTION UNLESS REQUESTED IN WRITING AND APPROVED PRIOR TO INSTALLATION BY COUNTY.
- SIDEWALK SHALL BE CLEAR OF ALL VERTICAL OBSTRUCTIONS UNLESS APPROVED BY COUNTY.
- WHERE BACKFILL IS TO BE PLACED UNDER A PREVIOUSLY INSTALLED CONDUIT, SLURRY BACKFILL WILL BE 450-C-2000 CONCRETE.
- LIGHTING SHALL BE SHIELDED OR DIRECTED AWAY FROM OPEN SPACE HABITAT AREAS THROUGH THE USE OF LOW-SODIUM OR SIMILAR INTENSITY LIGHTS, LIGHT SHIELDS, NATIVE SHRUBS, BERMS AND OTHER SHIELDING METHODS.
- ALL STREET SECTIONS TO BE DETERMINED BY OC PUBLIC WORKS MATERIALS LAB. ALL REPORTS FOR SAMPLING OF STREET SHALL MADE TO THE COUNTY INSPECTOR AND ONLY AFTER GRADE RELEASE AND PRIOR TO ANY UTILITY PLACEMENT WITHIN THE STREET TEMPLATE. REQUESTS FOR SAMPLING CAN BE MADE THROUGH OC PUBLIC WORKS INSPECTION.

## NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATIONS OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES ETC. SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE PUBLIC RECORDS. THOSE SHOWN ON THE RECORDS EXAMINED, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE ENGINEER, AND THE CITY OF TUSTIN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF OWNER, ENGINEER, OR THE CITY OF TUSTIN.

THE CONTRACTOR AND ALL ITS SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL RELATIONS' "CONSTRUCTION SAFETY ORDERS".

THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND OWNERS OF ANY DISCOVERED UNMAPPED UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY UTILITIES THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS. CONTRACTOR TO REPAIR ANY DAMAGED UTILITY LINE.

**NOTE:**  
ALL SIGNS REQUIRE SEPARATE PERMIT AND PLAN CHECK APPLICATION.

## TRENCHING NOTE

THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAIN PRIOR TO COMMENCE OF ANY WORK.

## NPDES NOTES

- IN THE CASE OF EMERGENCY, CALL JOHN TINDALL AT WORK PHONE # (949) 480-7215
- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES UNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPERCHLORINATED POTABLE WATER LINE FLUSHING. DURING CONSTRUCTION, PERMITEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- THE PERMITEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- THE PERMITEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
- THE PERMITEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

## ADA NOTES

ALL ADA ACCESSIBILITY IMPROVEMENTS SHALL COMPLY WITH 2010 ADA STANDARDS AND 2019 CBC.

## OSHA NOTE:

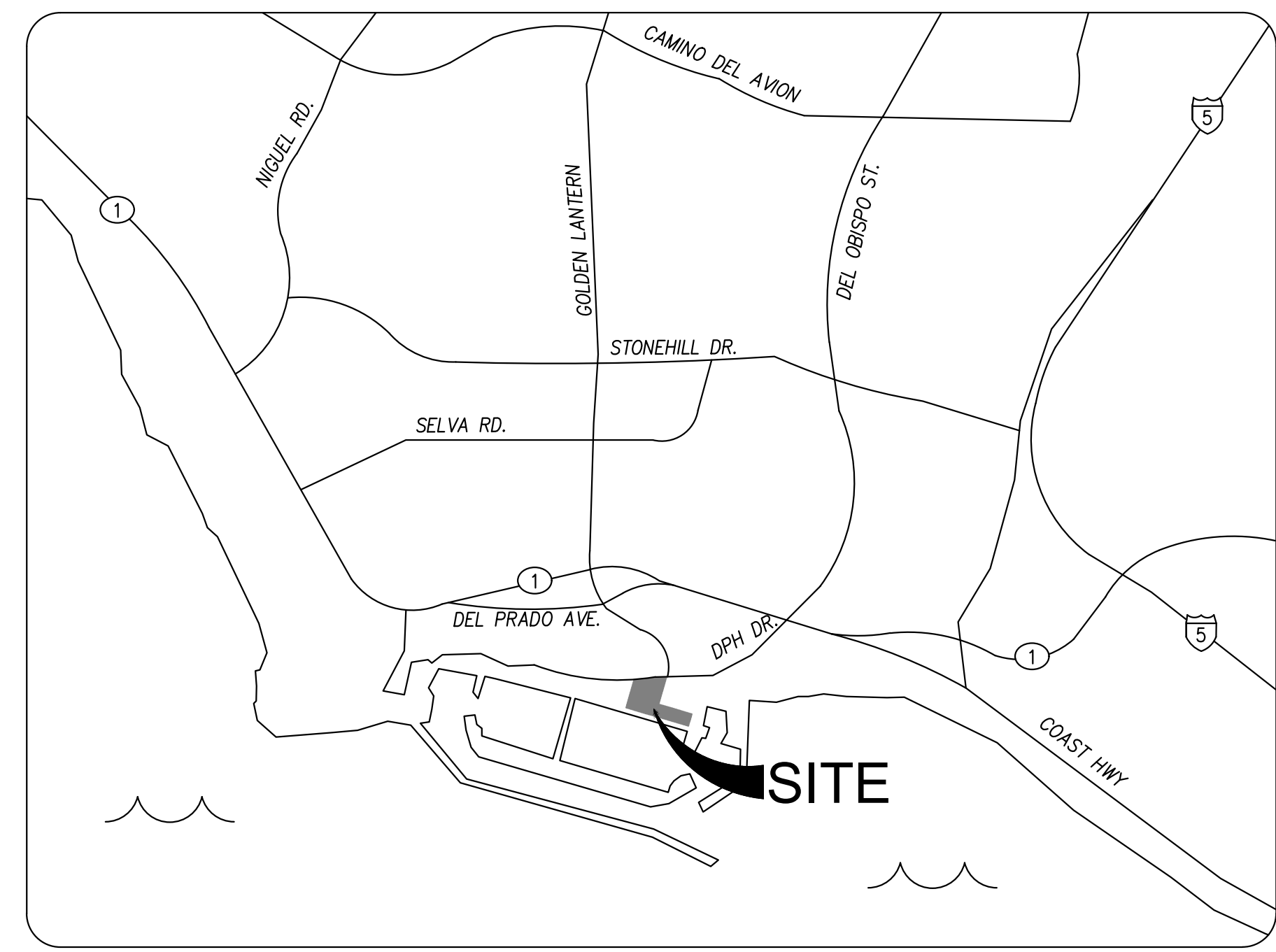
THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY, AND HEALTH (CAL/OSHA). THIS PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCE OF ANY WORK. CONTACT CAL/OSHA AT 714-558-4451 FOR ADDITIONAL INFORMATION.

## DANA POINT HARBOR PARTNER'S SURVEY DATUM ELEVATION NOTES:

- THE DANA POINT HARBOR PARTNER'S SURVEY FOR DANA POINT HARBOR IS BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD-88) OCS BENCH MARK 3RR-2-82, WHICH REFLECTS A VERTICAL DATUM DIFFERENCE OF 2.3 FEET HIGHER THAN THAT USED FOR NAVD-29. THE APPROVED CDP PLAN USED NAVD-29 FOR THE VERTICAL CONTROL DATUM.
- BASED ON RECENT NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) TIDAL DATA FOR LA JOLLA STATION 9410230 THE NAVD-88 MEAN SEA LEVEL (MSL) ELEVATION AT DANA POINT HARBOR IS 2.53 FEET. THE NAVD-29 MSL ELEVATION WAS 0.43 FEET. THE APPROVED CDP PLANS REFLECT A MSL ELEVATION OF 0.00 ON ALL CDP PLAN SHEETS.

## LEGEND

	RIGHT OF WAY		PROPOSED WATER PIPE
	LEASE LINE		PROPOSED SEWER PIPE
	STREET CENTERLINE		PROPOSED FIRE WATER PIPE
	LANDSCAPE SETBACK		TRUNCATED DOMES
	2:1 SLOPED AREA		CENTER LINE
	LIMITS OF WORK		PROPERTY LINE
	PARKING OVERHANG		RIGHT-OF-WAY
	FLOW DIRECTIONAL ARROW		EDGE OF PAVEMENT
	2ND FLOOR DECK		EDGE OF GUTTER
	2ND FLOOR DECK FOUNDATION		FINISHED SURFACE
	PROPOSED CONTOURS		FINISHED GRADE
	EXISTING CONTOURS		TOP OF CURB
	FLOWLINE		TOP OF GRATE
	RIDGE LINE		EXISTING
	GRADE BREAK		PROPOSED
	EXISTING STORM DRAIN		PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED STORM DRAIN <12"		PROPOSED FIRE HYDRANT
	PROPOSED STORM DRAIN >12"		WATER VALVE
	FUTURE STORM DRAIN		PROPOSED WATER METER
	PROPOSED DRY UTILITY JOINT TRENCH		PROPOSED WATER BACK FLOW PREVENTER
			PROPOSED DOUBLE CHECK DETECTOR ASSEMBLY
			PROPOSED THRUST BLOCK
			PROPOSED SANITARY SEWER MANHOLE
			PROPOSED STORM DRAIN MANHOLE
			PROPOSED CURB CUT INLET
			PROPOSED MANHOLE
			PROPOSED CATCH BASIN
			PROPOSED MODULAR WETLAND SYSTEM
			PROPOSED AREA DRAIN
			PROPOSED CURB OPENING CATCH BASIN WITH GRATINGS
			PROPOSED LIGHT POST



VICINITY MAP  
NTS

## SHEET INDEX

SHEET NO.	SHEET TITLE
1	TITLE SHEET
2	INDEX
3	BUILDINGS 11 & 12
4	BUILDINGS 9 & 10
5	BUILDING 8
6	BUILDING 6 & 7
7	DETAILS

## UTILITY COMPANY/AGENCY INDEX

UTILITY/AGENCY	CONTACT NAME	PHONE NUMBER
SD&E	JIM HINTON	(949) 361-8004
SEMPRA UTILITIES	MYRON DIEKMANN	(949) 448-8514
AT&T TELEPHONE	BOB FLEISHER	(714) 618-9129
COX COMMUNICATION	DEBBIE BORRJOEL	(949) 279-8574
SOUTH COAST WATER DISTRICT		(949) 499-4555
ORANGE COUNTY PUBLIC WORKS OPERATIONS & MAINTENANCE		(714) 955-0200
ORANGE COUNTY PUBLIC WORKS GENERAL BUILDING INSPECTION		(714) 667-8820

## PROJECT DIRECTORY

<b>OWNER:</b> COUNTY OF ORANGE CEO REAL ESTATE DIVISION 333 W. SANTA ANA BOULEVARD SANTA ANA, CA 92701 PHONE: (714) 834-3245	<b>CIVIL ENGINEER:</b> TAIT AND ASSOCIATES, INC. 701 N. PARKCENTER DRIVE SANTA ANA, CA 92705 PHONE: (714) 834-3245
<b>DEVELOPER:</b> DANA POINT HARBOR PARTNERS, LLC 1100 NEWPORT CENTER DRIVE, SUITE 200 NEWPORT BEACH, CA 92660 PHONE: (949) 760-9150	<b>GEOTECHNICAL ENGINEER:</b> GJM GEOTECHNICAL, INC. 23241 ARROYO VISTA RANCHO SANTA MARGARITA, CA 92688 PHONE: (949) 888-6513
<b>DEVELOPER'S REPRESENTATIVE:</b> BURNHAM WARD PROPERTIES 1100 NEWPORT CENTER DRIVE, SUITE 200 NEWPORT BEACH, CA 92660 PHONE: (949) 760-9150	<b>GEOTECHNICAL REPORT:</b> "GEOTECHNICAL FOUNDATION INVESTIGATION REPORT, DANA POINT HARBOR REVITALIZATION: PARKING STRUCTURE AND BOATER SERVICES BUILDING-COMMERCIAL COMPONENT, CITY OF DANA POINT, CALIFORNIA" DATED DECEMBER 4, 2019 (GJM PROJECT 17-206-02)

## SITE DATA:

PROJECT AREA	470,700 SF
DISTURBED AREA	470,700 SF
IMPERVIOUS AREA	386,100 SF
PERVIOUS AREA	84,600 SF

## DESIGN CODES:

- ORANGE COUNTY FIRE AUTHORITY - 2020
- SOUTH COAST WATER DISTRICT - 2018
- CALIFORNIA BUILDING CODE - 2019, JULY 1ST 2021 SUPPLEMENTAL, 2022

## REFERENCE PLANS FOR THESE IMPROVEMENTS

BUILDING AND SAFETY PLANS	PERMIT NUMBER
DANA POINT PARKING STRUCTURE AND BOATER SERVICES BUILDING	BNR19-0460, PKG19-1202
PARKING STRUCTURE DEMOLITION	DM020-0011
RETAINING WALL	BNR20-0017
PRECISE GRADING FOR PHASE 2B AND GOLDEN LANTERN	GR020-0021
SURFACE LOT SITE STRUCTURES BUILDINGS 6-9	PKG21-0753
BUILDING 10	PKG21-0514
BUILDING 11	PKG21-0515
BUILDING 12	PKG21-0516
BUILDINGS 6-12 AND SURFACE PARKING LOT DEMOLITION	PKG21-0519
PRECISE GRADING FOR BUILDING 6-12 AND SURFACE PARKING LOT	GR021-0090
VALET LOT SITE STRUCTURES	PKG21-0758
DANA WHARF SITE STRUCTURES	PKG22-1067
MARINA DOCKS	PKG22-0060

**UNDERGROUND SERVICE ALERT**

Call: TOLL FREE  
1-800-422-4133

KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.  
TWO WORKING DAYS BEFORE YOU DIG

**UNAUTHORIZED CHANGES & USES:**

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARED OF THESE PLANS. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

**ENGINEERS NOTE TO CONTRACTOR:**

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES, AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE PUBLIC RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION OF THESE UNDERGROUND UTILITIES TO BE USED AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON. IF THE CONTRACTOR ENCOUNTERS ANY DISCREPANCIES, CONFLICTS OR AREAS WHICH HE FEELS UNWORKABLE, HE SHALL NOTIFY THE GRADING ENGINEER IMMEDIATELY PRIOR TO CONTINUING OR DEVIATING FROM THIS PLAN.

DESIGNED BY:	DATE:
CHECKED BY:	DATE:
RECOMMENDED BY:	DATE:

DRAWN BY:	DATE:
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DATE:
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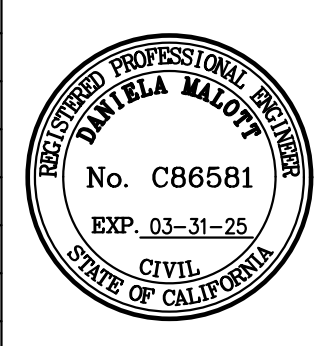
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PREPARED UNDER THE SUPERVISION OF:

**TAIT**  
Since 1954

701 N. Parkcenter Drive  
Santa Ana, CA 92705

p: 714/560/8200 f: 714/560/8211  
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*Dana Malott*  
DANAELA MALOTT R.C.E. No. CB6581 DATE 7/25/23

# DANA POINT HARBOR REVITALIZATION

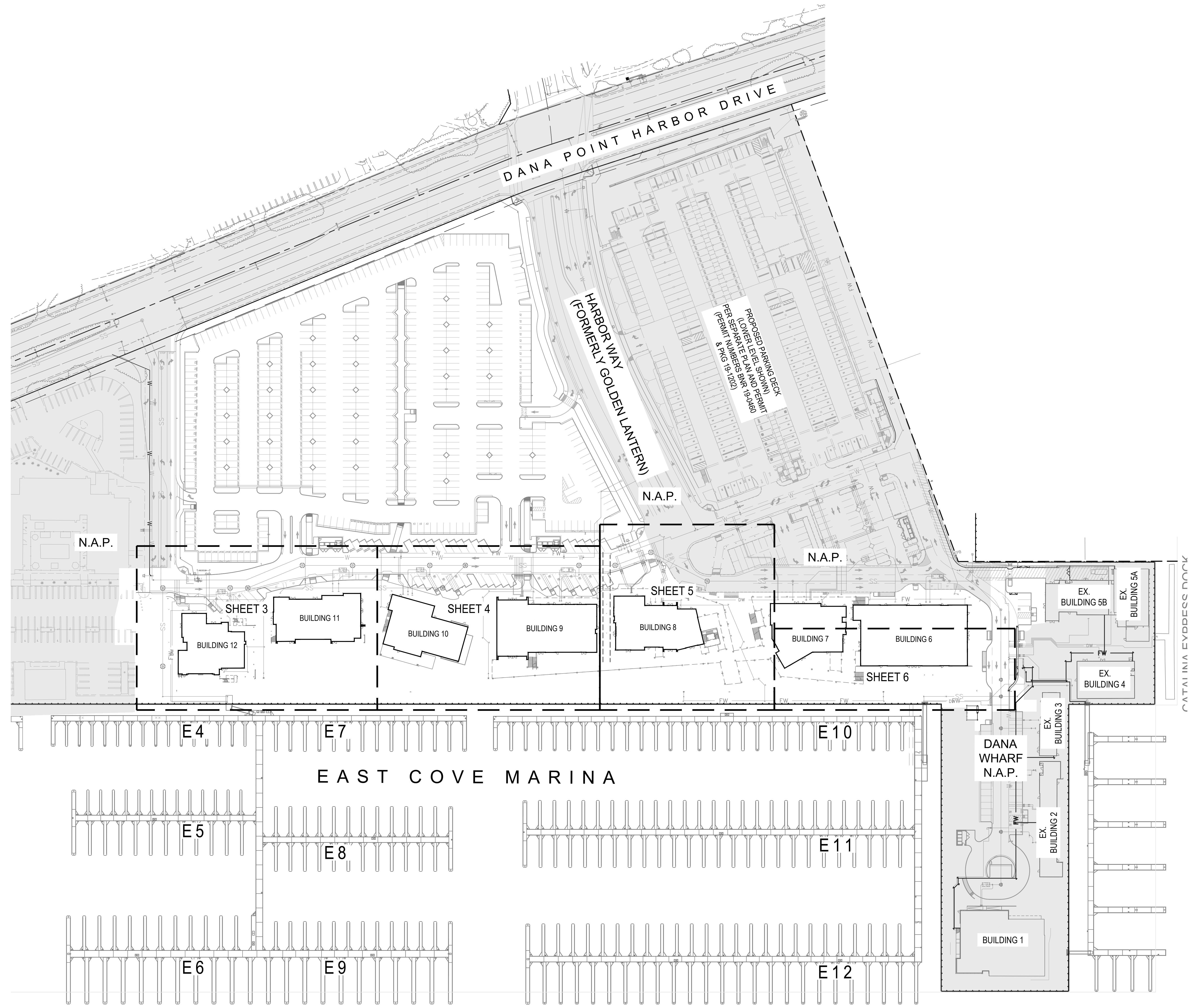
DANA POINT HARBOR PARTNERS, LLC

**BWP** BURNHAM WARD PROPERTIES **R.D. OLSON** DEVELOPMENT **BELLWETHER** FINANCIAL GROUP

**BUILDING 6-12 WET UTILITY PLANS**

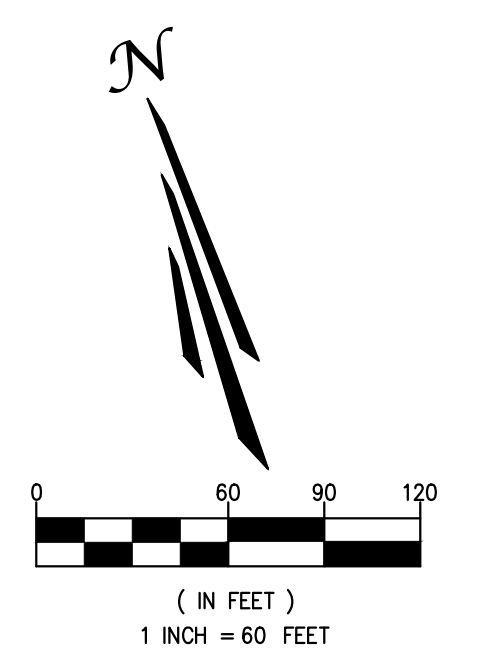
**TITLE SHEET**

SHT 1 OF 7



**LEGEND**

- RIGHT OF WAY
- - - LEASE LINE
- STREET CENTERLINE
- LANDSCAPE SETBACK
- // — LIMITS OF WORK



7					
6					
5					
4					
3					
2					
1					
NO.	DATE	REVISIONS	ENGR.	APPROV.	DATE

PREPARED UNDER THE SUPERVISION OF:

**TAIT**  
Since 1964  
Los Angeles Sacramento San Francisco Dallas Phoenix  
Ontario San Diego Boise Denver Portland

*Daniela Malott*  
DANIELA MALOTT R.C.E. No. C86581 DATE 7/25/23

DRAWN BY:	DATE:	GEOTECHNICAL ENGINEER SEAL:
DESIGNED BY:	DATE:	
CHECKED BY:	DATE:	
RECOMMENDED BY:	DATE:	

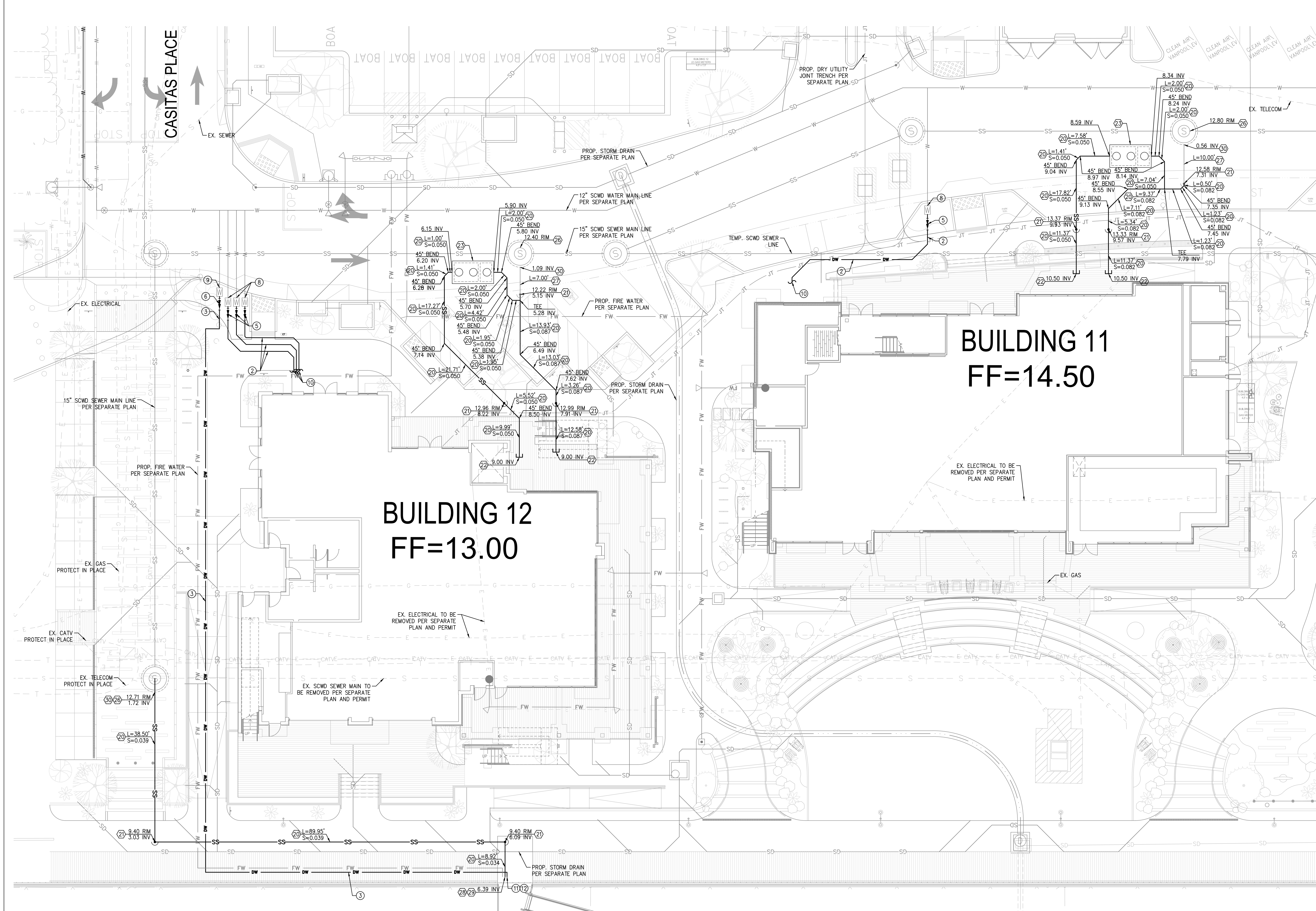
**DANA POINT HARBOR REVITALIZATION**  
DANA POINT HARBOR PARTNERS, LLC

**BWP** BURNHAM IWARD PROPERTIES **R.D. OLSON** DEVELOPMENT **BELLWETHER** FINANCIAL GROUP

**BUILDING 6-12 WET UTILITY PLANS**

**INDEX**

SHT 2 OF 7



- DOMESTIC WATER NOTES:**
- FURNISH AND INSTALL 1.5" PVC SCH 80 WATER LINE, FITTINGS, AND BENDS. TRENCHING AND BEDDING PER TRENCHING DETAILS ON SHEET 7 AND GEOTECHNICAL RECOMMENDATIONS. PVC WATER LINES SHALL HAVE #6 COPPER TRACER WIRES.
  - FURNISH AND INSTALL 2" PVC SCH 80 WATER LINE, FITTINGS, AND BENDS. TRENCHING AND BEDDING PER DETAIL ON SHEET 7 AND GEOTECHNICAL RECOMMENDATIONS. PVC WATER LINES SHALL HAVE #6 COPPER TRACER WIRES.
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  - CONNECT TO BUILDING PER MEP PLANS.
  - INSTALL TEMPORARY CAP UNTIL CONNECTING TO WATER LINE AT GANGWAY. CONTRACTOR TO COORDINATE CONNECTION TIMING WITH BELLINGHAM MARINE. SEE BELLINGHAM MARINE PLANS FOR CONTINUATION.
  - CONTRACTOR TO COORDINATE CONNECTION TO GANGWAY WATER LINE WITH BELLINGHAM MARINE. IF DOCK GANGWAY IS NOT COMPLETED, CONTRACTOR TO STAKE AND SURVEY LOCATION FOR FUTURE CONNECTION.

- SEWER NOTES:**
- FURNISH AND INSTALL 4" PVC (SDR-35) SEWER LINE, FITTINGS, AND BENDS. TRENCHING AND BEDDING PER TRENCHING DETAILS ON SHEET 7 AND GEOTECHNICAL RECOMMENDATIONS.
  - INSTALL SEWER CLEANOUT PER SCWD STD. DWG. S-4 ON SHEET 7.
  - CONNECT TO BUILDING PER MEP PLANS.
  - INSTALL 1500 GALLON JENSEN GREASE INTERCEPTOR MODEL JP1500CE-G PER MEP PLANS.
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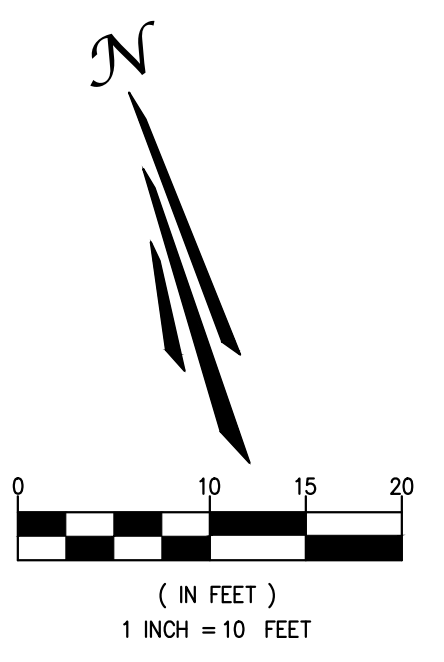
NOTE: ALL SEWER LINES SHALL HAVE 2% SLOPE MINIMUM (CPC 708.1)

SEE SHEET 4

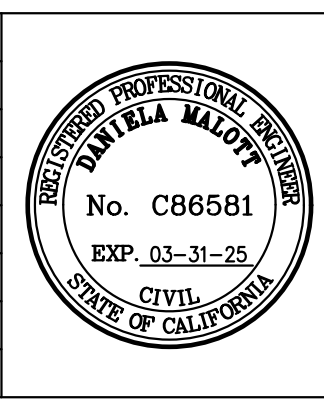
**BUILDING 12**  
FF=13.00

**BUILDING 11**  
FF=14.50

E4 - E9



NO.	DATE	REVISIONS	ENGR.	APPROV.	DATE
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Santa Ana, CA 92705

**TAIT**  
Since 1954  
Los Angeles Sacramento San Francisco Dallas Phoenix  
Ontario San Diego Boise Denver Portland

DANIELA MALOTT R.C.E. No. CB6561 7/25/23 DATE

DRAWN BY: DATE  
DESIGNED BY: DATE  
CHECKED BY: DATE  
RECOMMENDED BY: DATE

GEOTECHNICAL ENGINEER SEAL

**DANA POINT HARBOR REVITALIZATION**  
DANA POINT HARBOR PARTNERS, LLC

**B W P** BURNHAM IWARD PROPERTIES **R.D. OLSON** DEVELOPMENT **BELLWETHER** FINANCIAL GROUP

**BUILDING 6-12 WET UTILITY PLANS**

**BUILDINGS 11 & 12**

SHT 3 OF 7



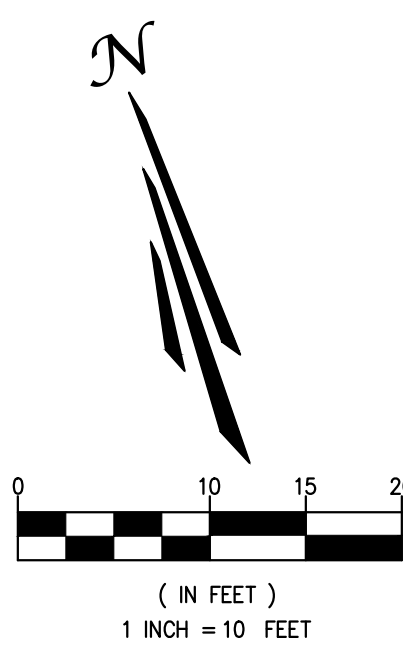
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  - CONNECT TO SCWD MAIN LINE PER SCWD PLAN & PERMIT.

NOTE: ALL SEWER LINES SHALL HAVE 2% SLOPE MINIMUM (CPC 708.1)

SEE SHEET 3

SEE SHEET 5



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NO.	DATE	REVISIONS	ENGR.	APPROV.	DATE

PREPARED UNDER THE SUPERVISION OF: 701 N. Parkcenter Drive Santa Ana, CA 92705

**TAIT**  
 Since 1964  
 Los Angeles Sacramento San Francisco Dallas Phoenix  
 Ontario San Diego Boise Denver Portland

DANIELA MALOTT R.C.E. No. C86581 7/25/23

DRAWN BY:	DATE:	GEOTECHNICAL ENGINEER SEAL:
DESIGNED BY:	DATE:	
CHECKED BY:	DATE:	
RECOMMENDED BY:	DATE:	

**DANA POINT HARBOR REVITALIZATION**  
 DANA POINT HARBOR PARTNERS, LLC

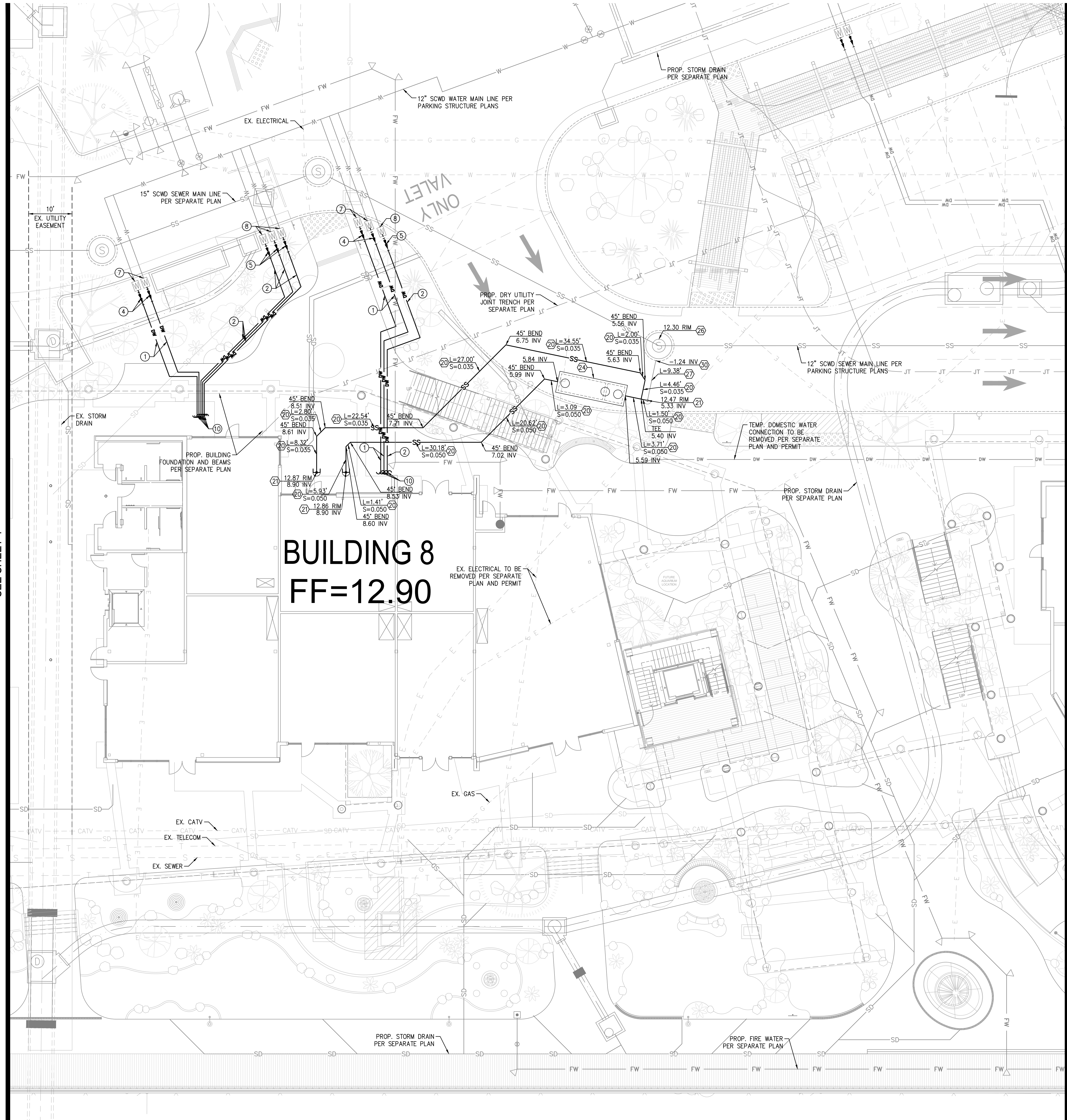
**BWP** BURNHAM IWARD PROPERTIES **R.D. OLSON** DEVELOPMENT **BELLWETHER** FINANCIAL GROUP

**BUILDING 6-12 WET UTILITY PLANS**

**BUILDINGS 9 & 10**

SHT 4 OF 7

K:\Drawings\ME\WCS3810 - Dana Point Harbor\ENR\Construction\Drawings\Commercial Core\Buildings 6-12 Phase 4\Private Utilities\WCS3810\_OC\_PHA\_LUT\_PRRV\ang PLOTTED: 7/25/2023 8:26:53 PM BY: Chris Dibel



- DOMESTIC WATER NOTES:**
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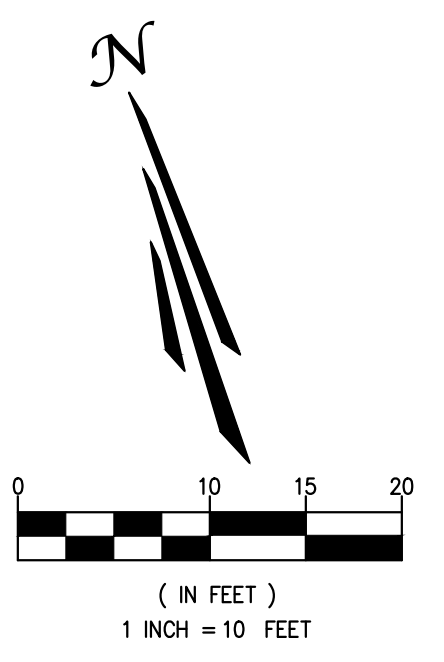
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NOTE: ALL SEWER LINES SHALL HAVE 2% SLOPE MINIMUM (CPC 708.1)

SEE SHEET 4

SEE SHEET 6

**BUILDING 8**  
**FF=12.90**



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NO.	DATE	REVISIONS	ENGR.	APPROV.	DATE

PREPARED UNDER THE SUPERVISION OF: 701 N. Parkcenter Drive  
 Santa Ana, CA 92705  
**TAIT**  
 Since 1954  
 Los Angeles Sacramento San Francisco Dallas Phoenix  
 Ontario San Diego Boise Denver Portland  
 No. CB6581  
 EXP. 01-31-25  
 CIVIL  
 STATE OF CALIFORNIA  
 DANIELA MALOTT  
 R.C.E. No. C86581  
 7/25/23  
 DATE

DRAWN BY:	DATE:	GEOTECHNICAL ENGINEER SEAL:
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RECOMMENDED BY:	DATE:	

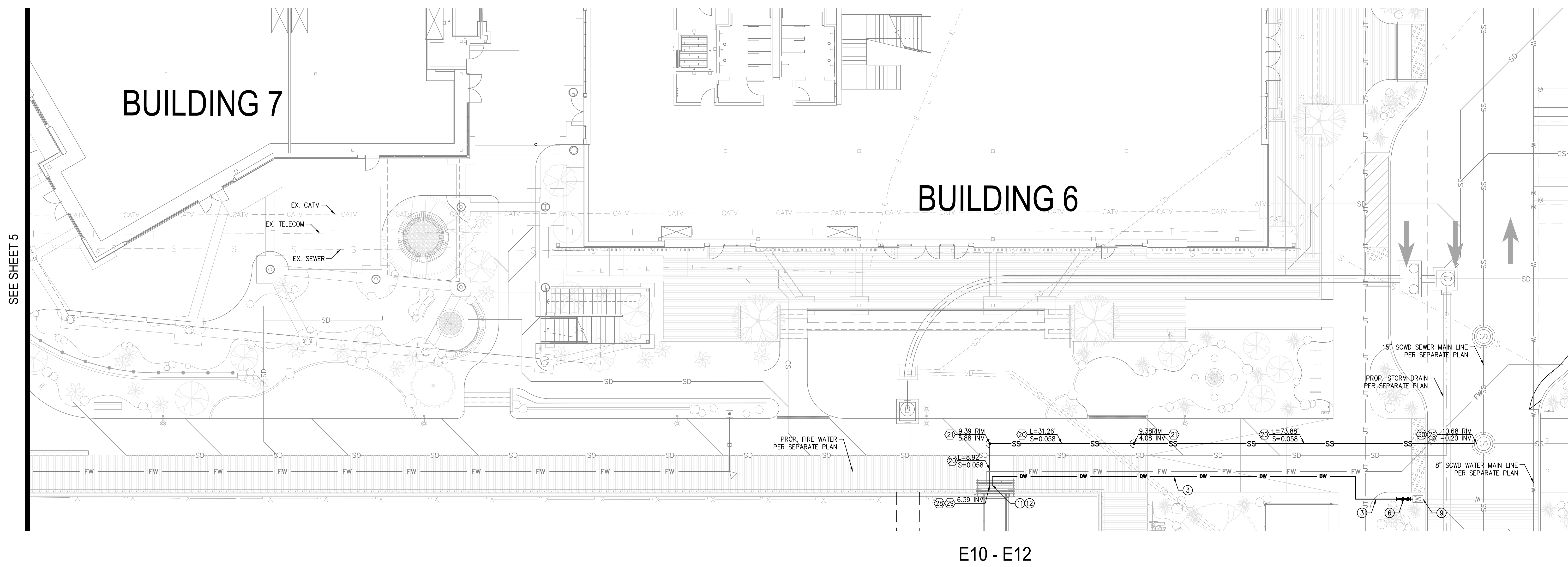
**DANA POINT HARBOR REVITALIZATION**  
 DANA POINT HARBOR PARTNERS, LLC  
 B W P BURNHAM IWARD PROPERTIES  
 R.D. OLSON DEVELOPMENT  
 BELLWETHER FINANCIAL GROUP

**BUILDING 6-12 WET UTILITY PLANS**  
**BUILDING 8**  
 SHT 5 OF 7

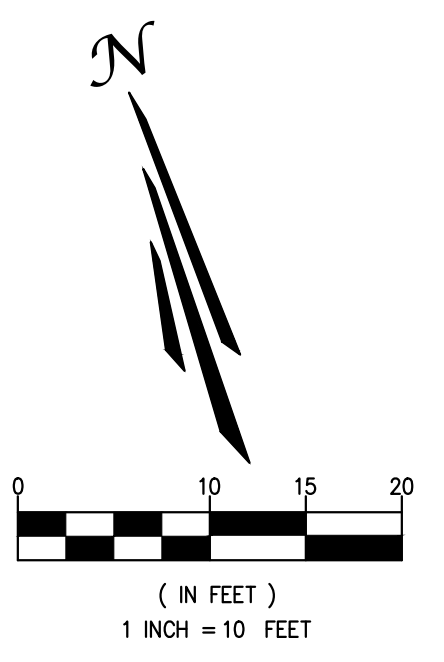
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- SEWER NOTES:**
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  - 25 INSTALL 3000 GALLON JENSEN GREASE INTERCEPTOR MODEL KJZ3000G-LA PER MEP PLANS.
  - 26 INSTALL SEWER MANHOLE PER SCWD PLAN AND PERMIT.
  - 27 FURNISH AND INSTALL 6" PVC (SDR-26) SEWER LATERAL AND DROP LATERAL CONNECTION TO MANHOLE. SEE DETAIL ON SHEET 7.
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  - 30 CONNECT TO SCWD MAIN LINE PER SCWD PLAN & PERMIT.

NOTE: ALL SEWER LINES SHALL HAVE 2% SLOPE MINIMUM (CPC 708.1)



SEE SHEET 5



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NO.	DATE	REVISIONS	ENGR.	APPROV.	DATE

PREPARED UNDER THE SUPERVISION OF:

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Since 1954  
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Ontario San Diego Boise Denver Portland

DANIELA MALOTT R.C.E. No. C86581 DATE 7/25/23

DRAWN BY:	DATE	GEOTECHNICAL ENGINEER SEAL
DESIGNED BY:	DATE	
CHECKED BY:	DATE	
RECOMMENDED BY:	DATE	

**DANA POINT HARBOR REVITALIZATION**  
DANA POINT HARBOR PARTNERS, LLC

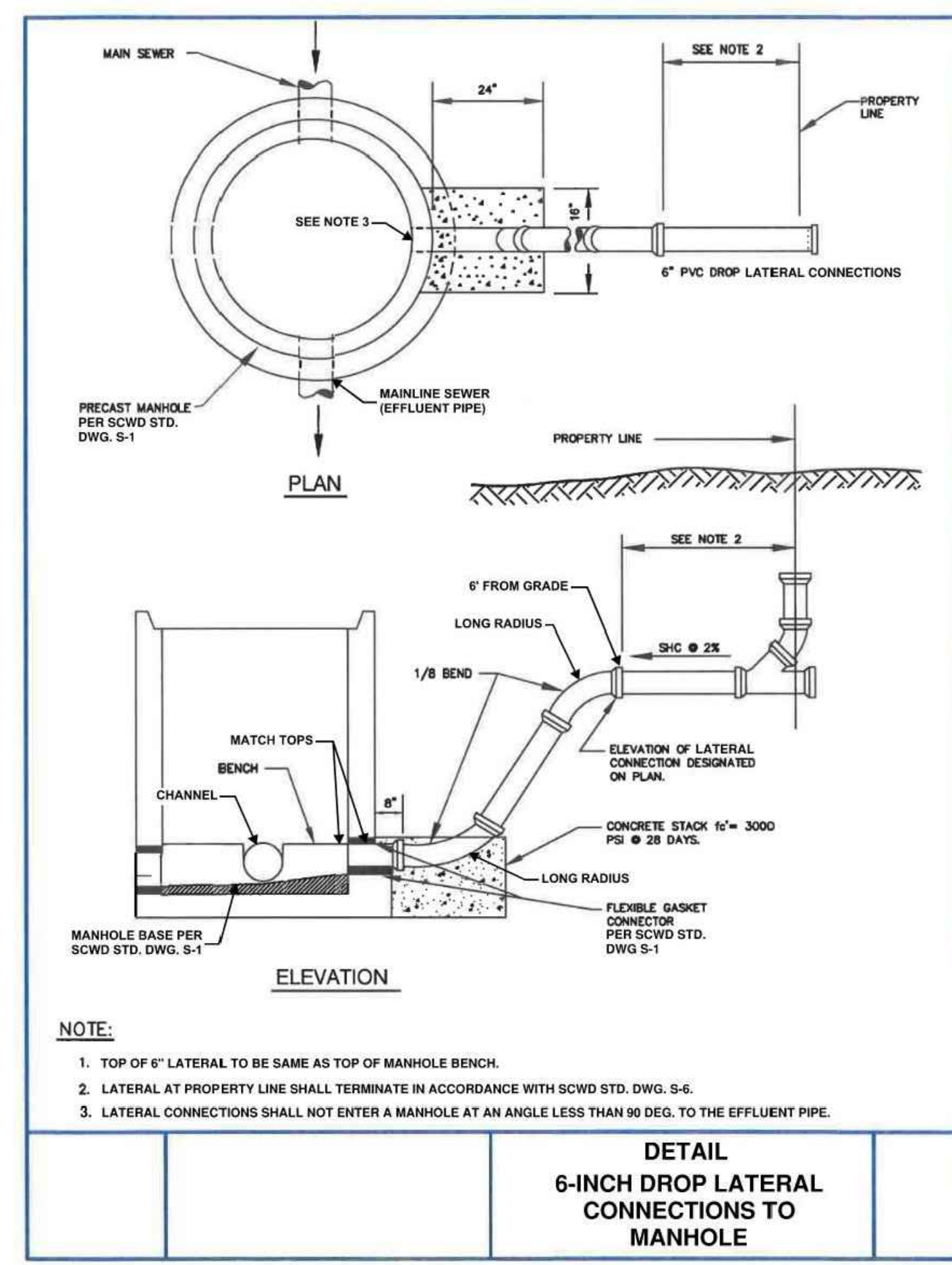
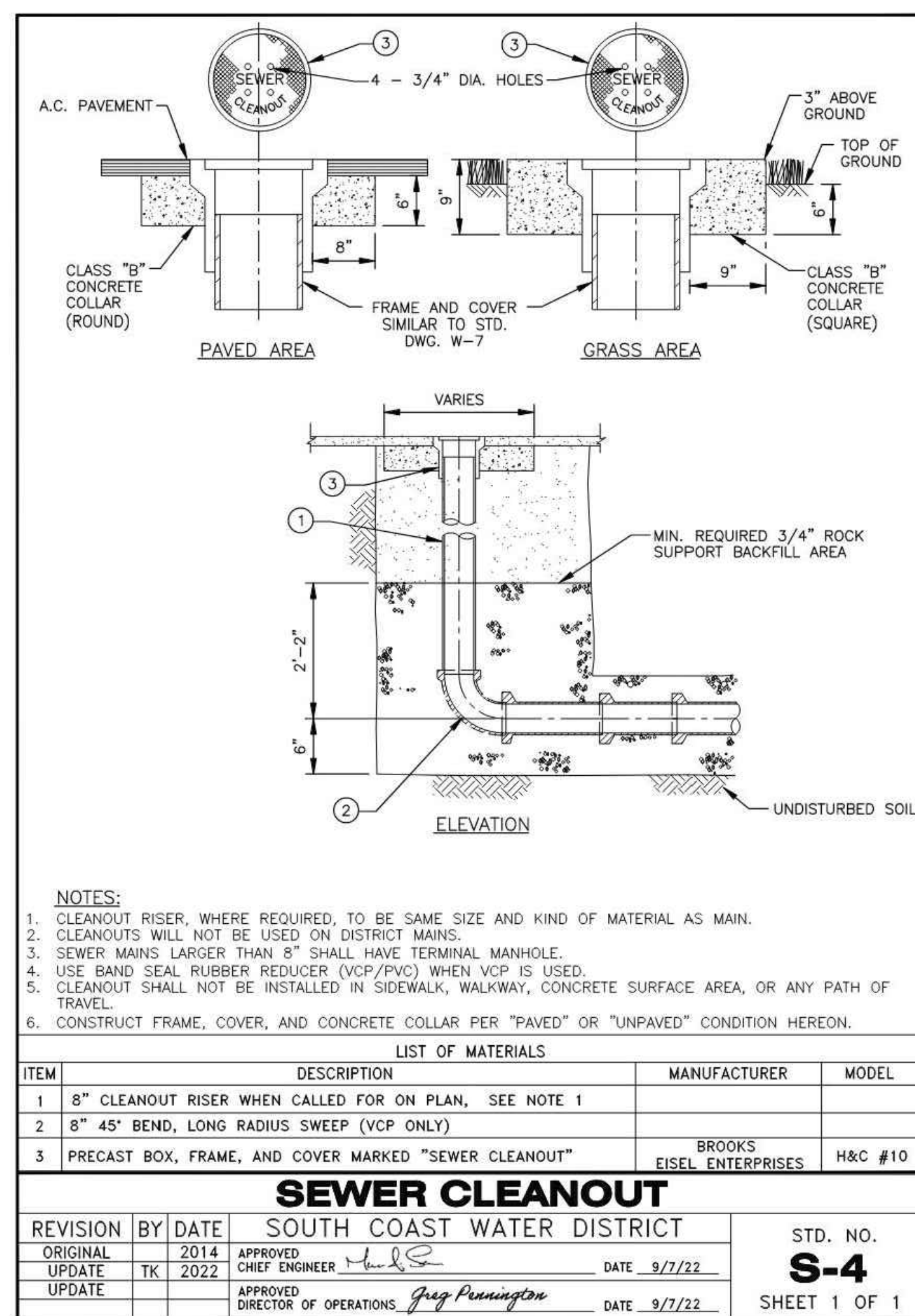
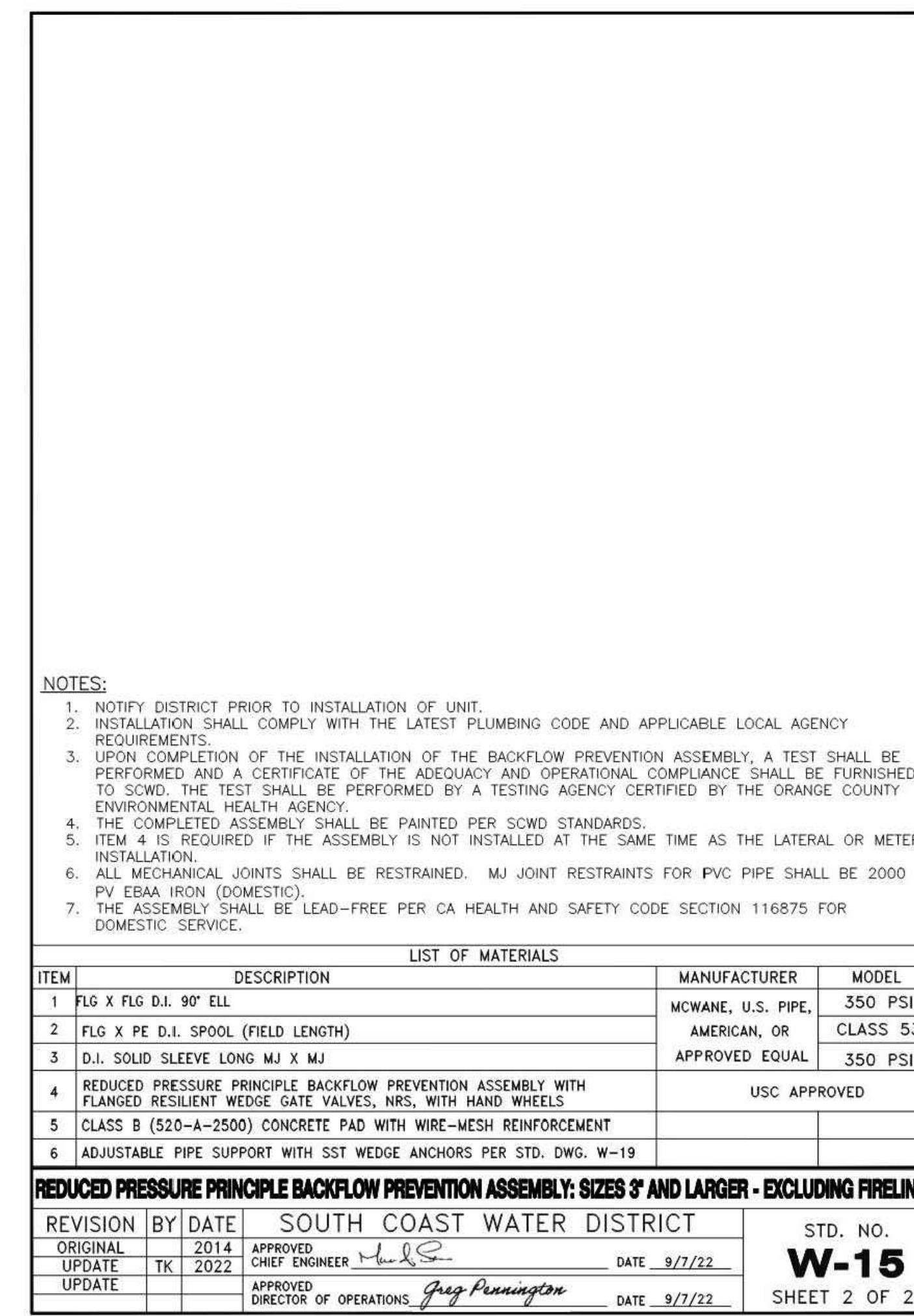
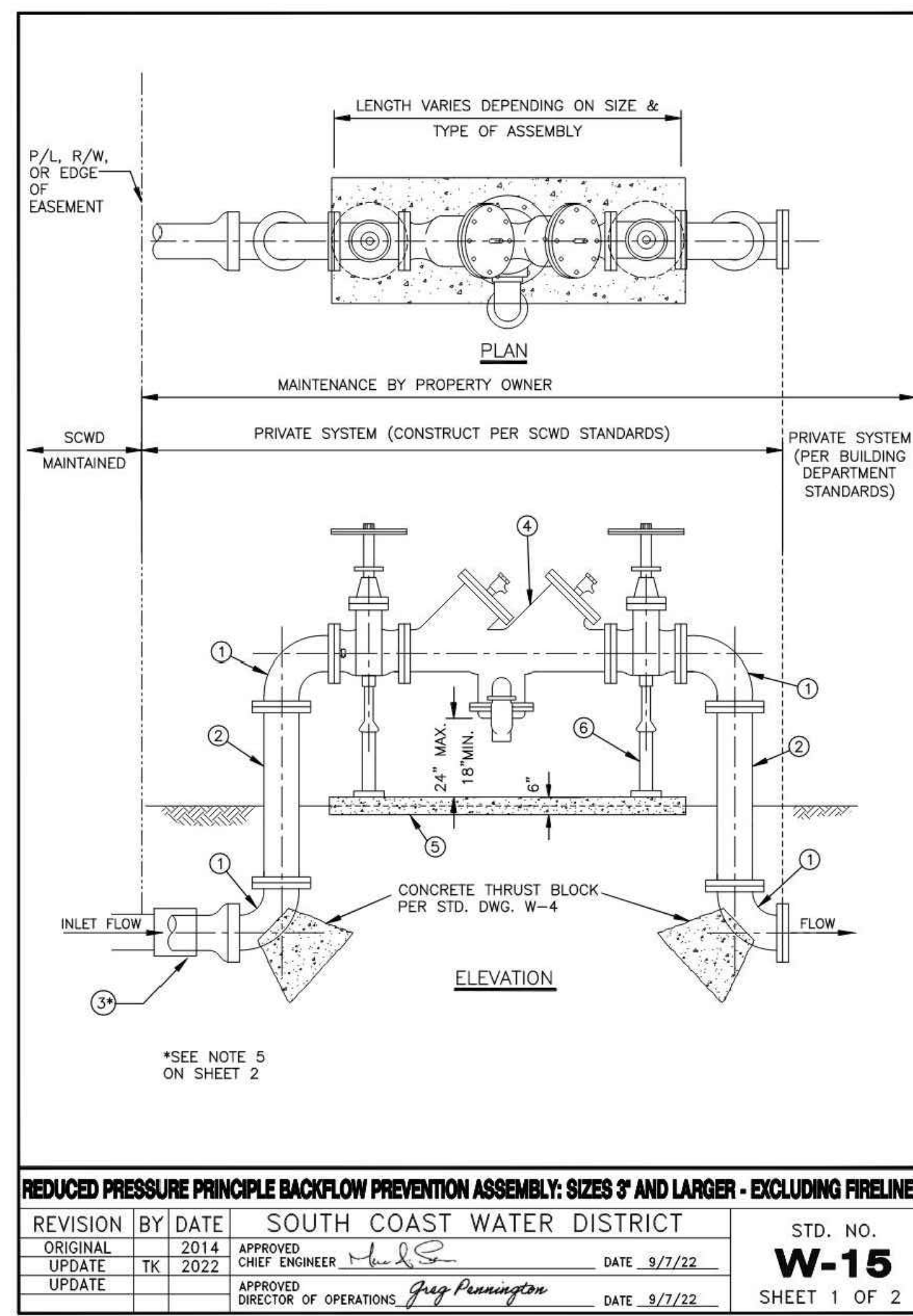
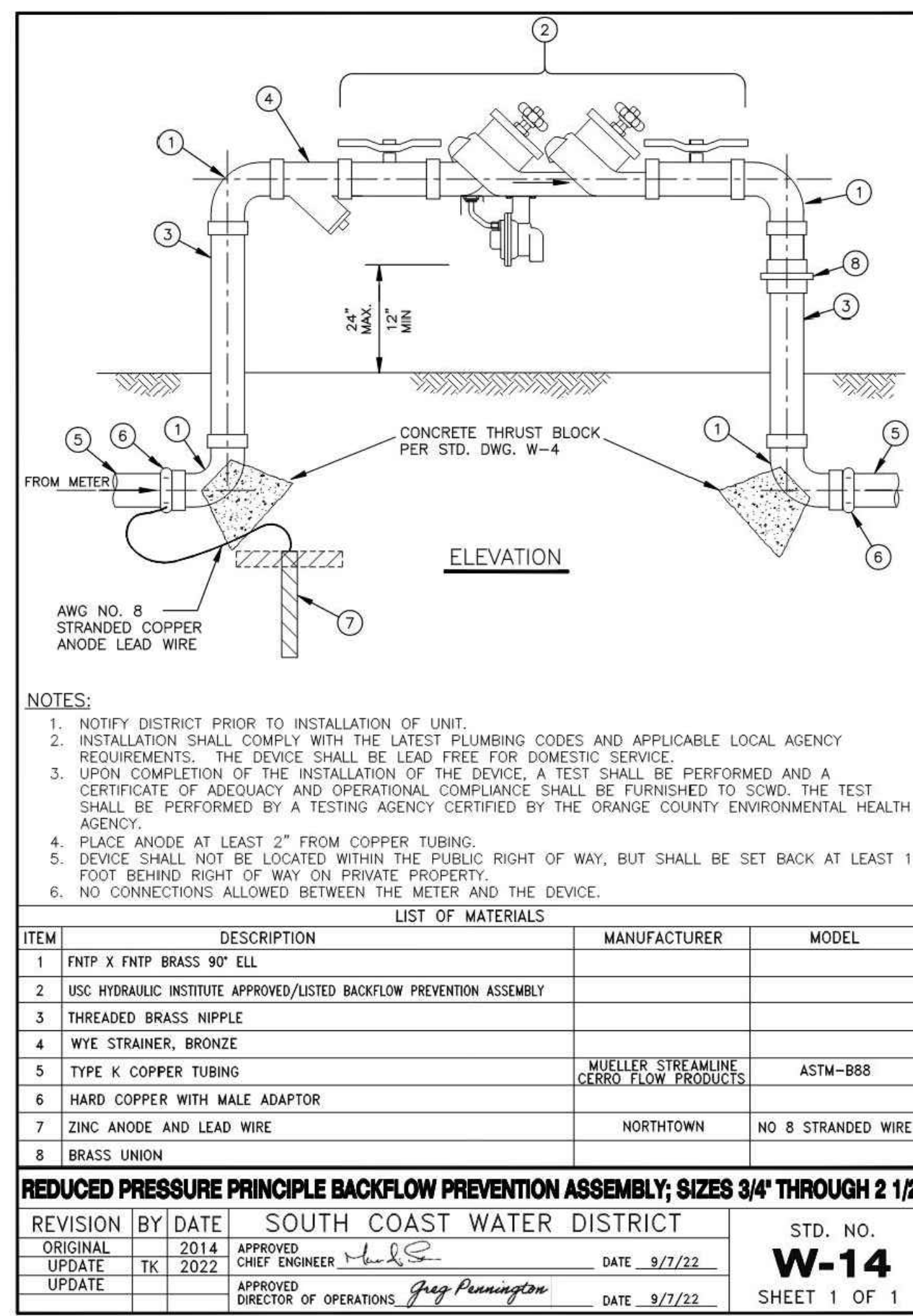
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**BUILDING 6-12 WET UTILITY PLANS**

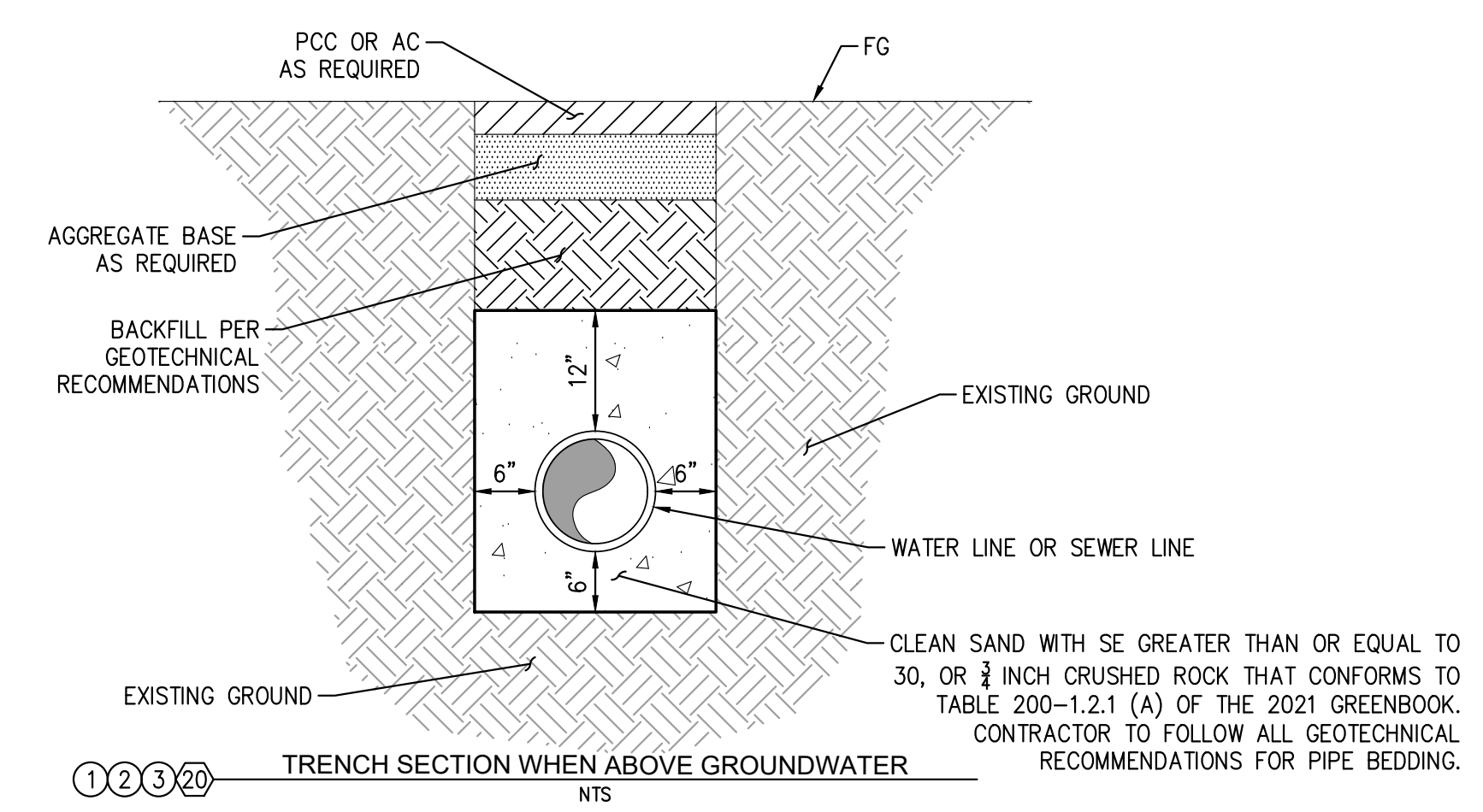
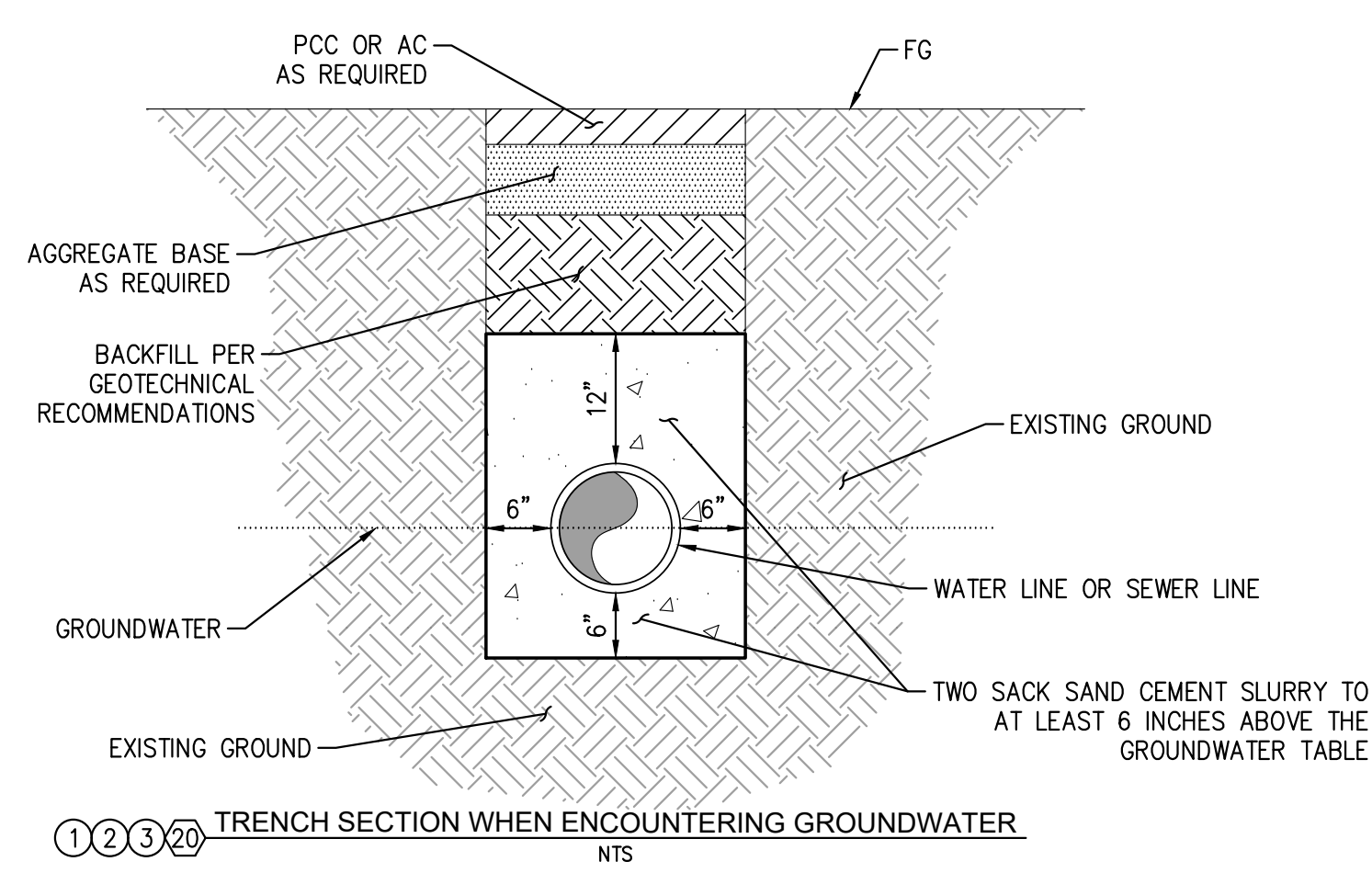
**BUILDING 6 & 7**

SHT 6 OF 7

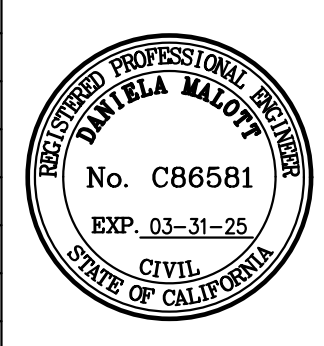
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27 6" DROP LATERAL CONNECTION TO MANHOLE DETAIL NTS



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**BUILDING 6-12 WET UTILITY PLANS**

**DETAILS**

SHT 7 OF 7